



Building Consistency Meeting

Commercial

Date 11/05/2014 Recorder and minutes prepared by: Jay E. Garbus/Lon McSwain

Staff present: On File

Public present:

1. Baby changing table location. – Can be put in accessible stall and meet all the clearances.

Kyle,

The old edition of Vol. I-C, later called the NC Accessibility Code, prohibited baby changing stations within accessible stalls and did require that, if provided, they be located within both the men's and woman's restrooms. We did, however, permit their use within the accessible stalls if they were located outside the clear floor area of any fixture and outside the door swing, with the BCS in the down position. But that was ten years ago.

2009 ANSI 603.5 references both ANSI 309 and ANSI 902. Other than that, BCS have been permitted within accessible stalls subject to the following:

The BCS, in the down position, cannot overlap any clear floor area or door swing.

The clear floor area for the BCS may overlap any other clear floor area or door swing

The above differs slightly from the interpretation in the ANSI Commentary. It is however, the interpretation based on decades of experience and precedence in interpretations within the state by this office.

If I can be of additional assistance, please let me know.

Laurel W. Wright

Chief Accessibility Code Consultant

NC Dept. of Insurance –

Office of State Fire Marshal

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Mbr: ANSI A117.1 Committee



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2. Rated stud wall at a rated masonry wall – No you do not need to do it provided you fire-stop it. It needs to be a shaft or fire wall not a part wall on lot line.





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3. Intersecting walls & opening wrap interpretation – Mecklenburg County has an interpretation on how to construct it. On 2 hr exterior wall opening needs to be wrapped in Sheetrock and less than 10' from property wall. Starts after November 1st.

CODE



MECKLENBURG COUNTY
Building Code Enforcement

INTERPRETATION

CODE: 2012 NC BUILDING CODE

SUBJECT: WOOD FRAMED CONSTRUCTION-INTERSECTING WALLS & WRAPPED OPENING

REVIEWED: BUILDING CONSISTENCY TEAM

Question:

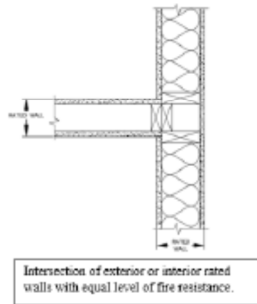
WHAT ARE THE ALLOWANCE FOR INTERSECTING WALLS IN WOOD FRAMED RATED CONSTRUCTION AND OPENING PROTECTION IN RATED WALLS.

Code reference:

NCSCC Section 714

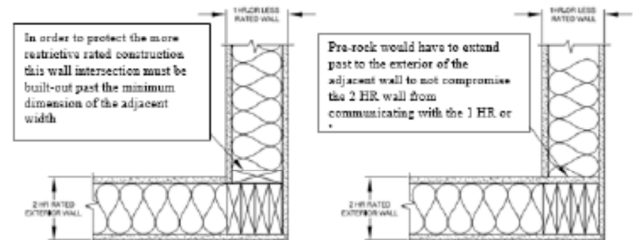
Answer:

1. Intersecting Exterior or interior rated walls with equal level of fire resistance rating only needs a solid T corner.



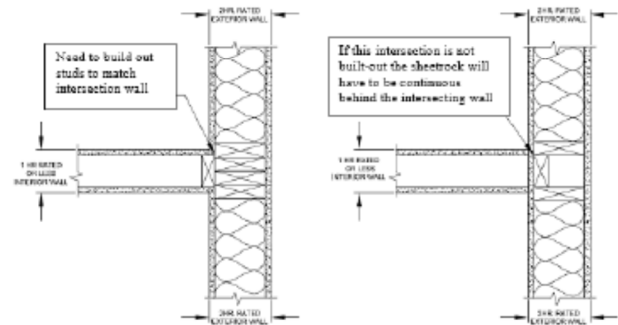
2. Intersecting exterior rated walls lesser or non-rated.

Lesser or Non-rated exterior wall intersections



3. Intersecting exterior rated walls with interior rated or non-rated walls.

Intersecting rated exterior wall & interior rated or non-rated





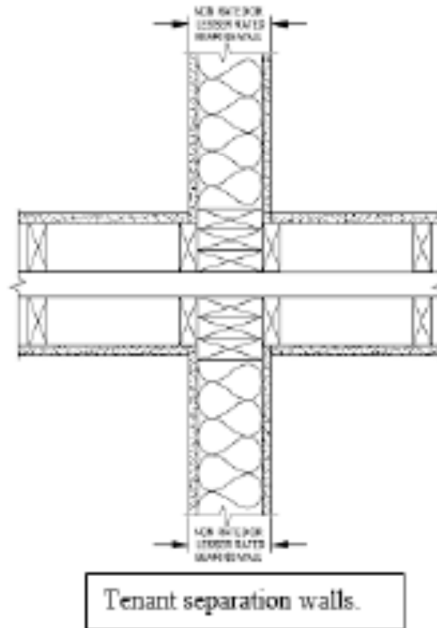
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4. Intersecting interior rated walls with non-rated or lesser rating (bearing or non-bearing). Can build-out the studs rather than pre-rock and is allowed on back to back tenant separation walls.

Intersecting rated with non-rated interior walls, bearing or non-bearing



5. Wrapping of openings in exterior rated 1 or 2 hour rated walls, one side or two sided exposure.

NCSBC Sec. 705.5 allows for exterior walls outside of the 10' fire separation distance to be rated from the inside only. Even though the requirements of Tables 601 & 602 are in place. However once the exterior wall encroaches into the 10' fire separation distance the same section above (705.5) requires that the wall now be protected from both sides. When this happens walls that are required to be rated whether by Tables 601 or 602. Must have a wall design that can accomplish this symmetrical protection. Walls that are 1 hour rated will not have to protect the structure around the window and door openings in this wall. However if the walls are required to be 2 hour rated then the openings around windows and doors will need to be protected by the same membrane on the exterior of the wall or through some type of protected opening with a listed and labeled jamb.

*****diagram to be added soon*****

Item 5 will take effect on projects permitted on or after December 1, 2014



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4. Contrasting nosing-DOI interpretation –Not required anymore.

NC Department of Insurance Office of State Fire Marshal, Engineering Division

RE:	Appeal dated September 19,)	
	2014, regarding The Pines at)	NCDOI DECISION
	Davidson, Villas at Hickory Crest)	

In accordance with GS 153A- 374, Jeffrey Krajnik has appealed Mecklenburg County decision regarding the contrasting strip on a stair nosing.

GS 160A-374 requires the NC Department of Insurance, Office of State Fire Marshal, Engineering Division to review "appeals from any order, decision, or determination by a member of a local inspection department pertaining to the State Building Code or other State building laws."

PARTIES

Appellant: Jeffrey Krajnik, AIA, NCARB
Project Architect
SFCS INC.,
305 South Jefferson Street
Roanoke, VA 24011-2003

Appellee: Mecklenburg County
Land Use and Environmental Services Agency Code Enforcement
700 North Tryon Street
Charlotte, NC

ISSUES RAISED IN APPEAL

The following issues are raised in Appellant appeal:

1. Contrasting nosings are required for stairs that are required to be accessible.
2. The accessible route from the Pines is provided by the elevator, the stairs are not the accessible route.
3. Since the stairs are not part of the accessible route, the contrasting nosings for the stairs are not required.

5. Height restrictions on shaft liner walls – Need to look at the manufacturer on the allowable height limitation for the product.

6. Fire alarm testing-901.5 – The test has been left to the fire inspector or fire marshal.



Building Consistency Meeting

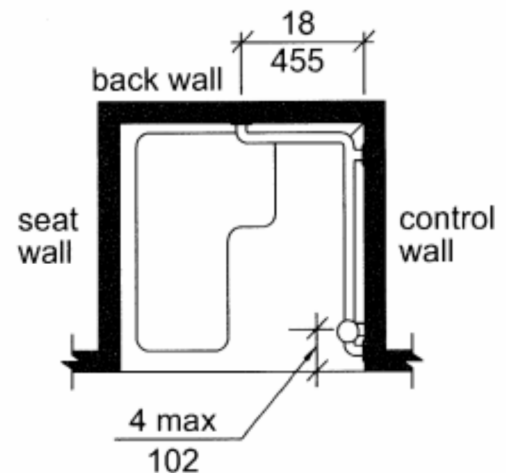
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7. Transfer shower seat requirements – See ANSI requirements for showers.

Transfer shower seat

1. Seat backwards
2. Grab bars long leg on wrong wall
3. No vert. Grab bar.



8. Approved plans and sheet index on site, on-schedule sealed drawings – The water mark needs to be on the plans. On schedule plans does not have the stamp but need the sheet index with the plan dates that are approved. Watermark should be added in the future to all plans.



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9. RTAP policy & procedure changes – Working on new policy and there will be training on it.

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- RTAP Category Procedures
- Category 1 - Field Change only: (Handled in the field)
 - Inspector informs the contractor of the failure.
 - Inspector reviews changes required for code compliance with the contractor and designer if necessary.
 - Plans are not required to be re-submitted.
 - Field Inspector decides what he will accept for code compliance
 - Inspector field verifies the changes and approves the project
 - Category 2 - Bulletin drawings or an engineer/architect letter is required by the Inspector.
 - Inspector coordinates with the contractor indicating the plan changes needed for field approval
 - Design professional sends an email to the Inspector attaching the documentation for approval.
 - Inspector either approves or disapproves the document notifying the design professional of his approval/disapproval
 - If disapproved the design professional shall make the necessary changes for Inspector approval and re-submit an email to the Inspector
 - If approved-The design professional uploads the document into the project file.
 - Coordinator is notified automatically by email of the document change by the EPR system
 - The document is not reviewed by the project plans examiner
 - There is no fee for this service
 - Category 3 - Plan Review required (CTAC)
 - For changes to CTAC plans all the category 2 items above shall be required with the exception the CTAC Electronic Plan Submittal process is different from the OnSchedule process. Please visit the [CTAC web page](#) and review the electronic plan submittal requirements.
 - Other documentation may be required depending on the scope of the change
 - Cost per trade for the review is \$145.00 an hour
 - Category 4 - Plan Review required (On Schedule, Mega)
 - Re-submit plans through the On Schedule/Mega Process
 - Project design professional in charge submits RTAP application through the EPM system
 - A copy of the original approved plan shall be submitted if the review was done prior to February 1, 2012
 - Plan changes shall be bubbled or clouded and each sheet shall include the revision date
 - Approved plans will be released for construction
 - Cost per trade for the review is \$145.00 an hour

10. Rated wall labelling – Labeling can not obstructed from view. If rating changes should be indicated to show right rating.





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11. Code Amendments effective January 1st, 2015.

2012 NC Building Code

901.6.1 Automatic sprinkler systems. (131210 Item B-1)

901.6.1 Automatic sprinkler systems. Automatic sprinkler systems shall be monitored by an *approved* supervising station.

Exceptions:

1. A supervising station is not required for *automatic sprinkler systems* protecting one- and two-family dwellings.
2. Limited area systems serving fewer than 20 sprinklers.
3. A group R-2 building sprinklered in accordance with NFPA 13R where sprinklers are provided for porches, balconies, corridors and stairs that are open and attached and installed in accordance with Section 903.4. At a minimum an approved audible alarm device shall be provided on every sprinklered R-2 building in accordance with Section 903.4.2 of the North Carolina Fire Code. No on-site supervision is required at a constantly attended location.

The delayed effective date of this Rule is January 1, 2015.

The Statutory authority for Rule-making is G. S. 143-136; 143-138.

Assembly without fixed seats

Unconcentrated (tables and chairs) ^a

Business areas ^a

Add the following footnote to "Assembly – unconcentrated (tables and chairs)" and to "Business areas":

a. An assembly occupancy conference room that is accessory to a Group B office occupancy and meeting the requirements of Section 303.1, exception 2, shall be calculated at 100 square feet per occupant for determining the overall occupant load of the associated floor. The assembly occupancy shall be calculated at 15 square feet per occupant for the purpose of determining egress from the room containing the assembly occupancy.

The delayed effective date of this Rule is January 1, 2015.

The Statutory authority for Rule-making is G. S. 143-136; 143-138.



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2012 NC Building Code

1005.1 Minimum required egress width. (120312 Item B-2)

1005.1 Minimum required egress width. The *means of egress* width shall not be less than required by this section. The total width of *means of egress* in inches (mm) shall not be less than the total *occupant load* served by the *means of egress* multiplied by 0.3 inch (7.6 mm) per occupant for stairways and by 0.2 inch (5.1 mm) per occupant for other egress components. The width shall not be less than specified elsewhere in this code. Multiple *means of egress* shall be sized such that the loss of any one *means of egress* shall not reduce the available capacity to less than 50 percent of the required capacity. The maximum capacity required from any *story* of a building shall be maintained to the termination of the *means of egress*.

Exceptions:

1. *Means of egress* complying with Section 1028.

2. For other than Group H and I-2 occupancies, the capacity, in inches (mm), of *means of egress stairways* shall be calculated by multiplying the *occupant load* served by the *stairway* by a *means of egress* capacity factor of 0.2 inch (5.1 mm) per occupant in buildings equipped throughout with an *automatic sprinkler system* installed in accordance with Section 903.3.1.1 or 903.3.1.2 and an *emergency voice/alarm communications system* in accordance with Section 907.5.2.2.

3. For other than Group H and I-2 occupancies, the capacity, in inches (mm), of *means of egress* components other than *stairways* shall be calculated by multiplying the *occupant load* served by such components by a *means of egress* capacity factor of 0.15 inch (3.8 mm) per occupant in buildings equipped throughout with an *automatic sprinkler system* installed in accordance with Section 903.3.1.1 or 903.3.1.2 and an *emergency voice/alarm communications system* in accordance with Section 907.5.2.2.

The delayed effective date of this Rule is January 1, 2015.

The Statutory authority for Rule-making is G. S. 143-136; 143-138.



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2012 NC Building Code

1018.6 Corridor continuity. (130311 Item B-12)

1018.6 Corridor continuity. Fire-resistant-rated **corridors** shall be continuous from the point of entry to an exit, and shall not be interrupted by intervening rooms.

Exceptions:

1. Foyers, lobbies or reception rooms constructed as corridors shall not be constructed as intervening rooms.
2. A toilet room as defined by the NC Plumbing Code that meets all of the following requirements may be included as part of the rated corridor enclosure:
 - 2.1. The toilet room shall be separated from the remainder of the building by fire-resistant-rated construction meeting the same requirements as the corridor construction:
 - 2.2. No other rooms open off of the toilet room;
 - 2.3. No gas or electric appliances other than electric hand dryers are located in the toilet room; and
 - 2.4. The toilet room is not used for any other purpose.

The delayed effective date of this Rule is January 1, 2015.

The Statutory authority for Rule-making is G. S. 143-136; 143-138.

2012 NC Building Code

1210.1 Floors. (110308 Item B-7)

1210.1 Floors. In other than dwelling units, toilet and bathing room floors shall have a smooth, hard, nonabsorbent surface that extends upward onto the walls at least ~~6 inches (152mm)~~ 3 inches (76mm).

The delayed effective date of this Rule is January 1, 2015.

The Statutory authority for Rule-making is G. S. 143-136; 143-138.

2012 NC Building Code

Chapter 23 Wood Tables SP. (130910 Item B-2)

Change the following tables in Chapter 23 as indicated in the attachment:

2308.8.8(1), 2308.8(2), 2308.9.5, 2308.9.6, 2308.10.2(1), 2308.10.2(2),
2308.10.3(1), 2308.10.3(2), 2308.10.3(3), 2308.10.3(4), 2308.10.3(5), 2308.10.3(6)

http://www.ncdoi.com/OSFM/Engineering_and_Codes/Documents/2012_NCBuildingCode_amendments/130910%20B2%20Building%20Ch23%20Wood%20Tables%20SP1.pdf

The delayed effective date of this Rule is January 1, 2015.

The Statutory authority for Rule-making is G. S. 143-136; 143-138.



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2012 NC Building Code

2902.1.1 Fixture calculations. (131210 Item B-2)

2902.1.1 Fixture calculations. To determine the *occupant load* of each sex, the total *occupant load* shall be divided in half. To determine the required number of fixtures, the fixture ratio or ratios for each fixture type shall be applied to the *occupant load* of each sex in accordance with Table 2902.1. Fractional numbers resulting from applying the fixture ratios of Table 2902.1 shall be rounded up to the next whole number. For calculations involving multiple occupancies, such fractional numbers for each occupancy shall first be summed and then rounded up to the next whole number.

Exceptions:

1. The total *occupant load* shall not be required to be divided in half where *approved* statistical data indicate a distribution of the sexes of other than 50 percent of each sex.
2. In buildings that contain dwellings or sleeping units that have a pool dedicated to the residents, a percentage reduction of the total required fixtures provided for a pool and pool deck without bleachers and grandstands may be taken equal to the percentage of total residential units whose entries fall within 500 feet of the pool deck.

The delayed effective date of this Rule is January 1, 2015.

The Statutory authority for Rule-making is G. S. 143-136; 143-138.

2012 NC Building Code

3411.8.3.1 Inclined stairway chairlifts. (110308 Item B-2)

3411.8.3 Platform lifts. Platform (wheelchair) lifts complying with ICC A117.1 and installed in accordance with ASME A18.1 shall be permitted as a component of an accessible route.

3411.8.3.1 Inclined stairway chairlifts. Inclined stairway chairlifts that do not reduce the required means of egress and installed in accordance with ASME A18.1 shall be permitted as a component of an accessible route in alterations of existing occupancies in:

1. Religious organizations or entities controlled by religious organizations, including places of worship; or
2. Private clubs or establishments exempted under Title II of the Civil Rights Act of 1964.

Such inclined stairway chairlifts shall be approved for commercial use by the manufacturer and installed by factory trained and approved installers.

The delayed effective date of this Rule is January 1, 2015.

The Statutory authority for Rule-making is G. S. 143-136; 143-138.



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2015 NC Existing Building Code

New Code Adoption. (130611 Item B-6)

This Rule was adopted to update to the 2015 NC Existing Building Code based on the 2012 International Code edition. The NC amendments can be downloaded at the link below.

http://www.ncdoi.com/OSFM/Engineering_and_Codes/Documents/2015%20NC%20EXISTING%20BLDG%20CODE%20Changes%20Only%20to%202012%20IEBC%20140401%20RRC%20140522%20ICC.pdf

The delayed effective date of this Rule is **March 1, 2015.**

The 1995 NC Existing Building Code will expire on March 1, 2015.

The NC Rehabilitation Code will expire on March 1, 2018.

The Statutory authority for Rule-making is G. S. 143-136; 143-138.

12. There will be a presenter for the next meeting.

**WE STRIVE TO PROVIDE EXCELLENT PLAN REVIEW AND INSPECTIONS WITH
OUTSTANDING CUSTOMER SERVICE**

Approved By Lon McSwain Date 11/12/2014